

**LEAVENWORTH PRESERVATION COMMISSION
COMMISSION CHAMBERS, CITY HALL
100 N. 5th Street
Leavenworth, KS 66048**

**REGULAR SESSION
Wednesday, January 4, 2023
6:00 p.m.**

AGENDA

CALL TO ORDER:

- 1. Roll Call/Establish Quorum**
- 2. Approval of Minutes: October 5, 2022**

OLD BUSINESS:

None

NEW BUSINESS:

1. 2023-01 LPC – 211 PINE STREET

A State Law review (K.S.A 75-2724) for the proposed modification to the property located at 211 Pine Street, a property located in the Arch Street Historic District, and determine if the project meets the Standards for Rehabilitation as set forth by the Secretary of the Interior.

OTHER BUSINESS/CORRESPONDENCE:

**1. MINOR STATE LAW REVIEW AND/OR MINOR CERTIFICATE OF APPROPRIATENESS (4) –
No action required.**

- 200 Seneca – repair sections of sidewalk
- 600 Cherokee – minor modifications to south wall roll-up windows as previously approved by LPC
- 630 Cherokee – excavation of petroleum-contaminated subsurface soil in parking lot & surface restoration. Temporary construction fencing, and 5' chain link with natural-hedge living wall to surround remedial equipment.
- 405 N. Broadway – 6' privacy fence in rear yard

2. TRAINING

AJOURN

CITY OF LEAVENWORTH PRESERVATION COMMISSION

COMMISSION CHAMBERS, CITY HALL
100 N 5th Street, Leavenworth, Kansas 66048
Wednesday, October 5, 2022 6:00 PM

The Leavenworth Preservation Commission met Wednesday, October 5, 2022. Chairman Rik Jackson called the meeting to order at 6:00 p.m. Commissioners present were Rik Jackson, Ed Otto, Dick Gibson and Ken Bateman. Commissioners absent were Ken Bower and Sherry Hines Whitson. Also, present in the commission chambers were Planning Director Julie Hurley and Administrative Assistant Michelle Baragary.

Chairman Jackson noted a quorum was present and called for a motion to accept the minutes from September 7, 2022. Commissioner Gibson moved to approve the minutes as presented, seconded by Commissioner Otto and approved by a vote of 4-0.

OLD BUSINESS

None

NEW BUSINESS

1. 2022-21 LPC – 404 SHAWNEE

A State Law review (K.S.A. 75-2724) for the proposed installation of a new deck in the rear of the property located at 404 Shawnee, a property located in the Leavenworth Downtown Historic District and determine if the project meets the Secretary of the Interior Standards for Rehabilitation.

Chairman Jackson called for the staff report.

Planning Director Julie Hurley stated the subject property is located at 404 Shawnee in the Leavenworth Downtown Historic District. The property is a two-story brick commercial building with display windows flanking a recessed entrance. The second story has three window bays. The original brick of the storefront has been previously covered with stucco finish, and there is evidence that the first floor display windows have been previously replaced.

The applicant is proposing to add a new deck at the rear of the building to access a new second story two-bedroom apartment. He also intends to construct a new first floor studio apartment at the rear of the building with installation of new windows.

REQUIRED REVIEWS:

The proposed project shall be reviewed utilizing the Standards for Rehabilitation as set forth by the Secretary of the Interior:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

There will be minimal change to the physical characteristics of the building, with no defining characteristics being altered.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Much of the historic character of the property has previously been altered, with the replacement of windows and the application of stucco. No additional historic materials or features will be altered.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

No changes will be undertaken that create a false sense of historical development.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

No features with historic significance will be altered.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

No features with historic significance will be altered.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities, and where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

New windows to be installed shall match existing windows in style and appearance.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

No treatments that cause damage to historic material are planned to be used.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

No known significant archeological resources will be altered.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The proposed deck at the rear of the building shall not destroy any historic materials, and will be compatible with the massing, size, scale, and architectural features of the property.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed deck at the rear of the building shall be installed in such a way that it may be removed in the future without damage to the integrity of the property and its environment.

ACTION /OPTIONS:

- Motion, to determine that the proposed changes to 404 Shawnee do not damage or destroy any historic property.
- Motion, to determine that the proposed changes to 404 Shawnee does damage or destroy a historic property.
- Motion, to Table item until the next meeting for the purpose of gathering additional information.
- Motion, to forward to the SHPO for review.

Chairman Jackson asked for questions about the staff report.

Commissioner Gibson asked what the ADA requirement is for a second floor that will have access from street level.

Ms. Hurley responded that would be an issue for Building Inspections. There are a number of these two-story buildings in the downtown area with residential units on the second floor. Ms. Hurley further stated because it will only have one or two units on the second floor this negates any ADA requirements. Any ADA issues will be taken up at the time of building permit.

Commissioner Bateman stated there would not be ADA requirements because it is not a place of public accommodation.

Chairman Jackson asked the property owner to discuss the construction of the stairwell.

Marshall Blount, partner of M&D 404 LLC, stated there will be wood on the stairs and decking with wrought iron rails.

Commissioner Bateman asked if the deck will be on the other side and not obstructing the exit door on the first floor.

Mr. Blount stated the deck comes out farther than what is depicted in the rendering. The parking lot behind the building is quite large, which gives more room for a nice sized deck.

Commissioner Otto asked for the completion date.

Mr. Blount stated they are shooting for 2023 but this is dependent upon the sprinkler system requirement and delivery of material.

With no further questions/discussion, Chairman Jackson called for a motion. Commissioner Otto moves that the proposed changes to 404 Shawnee does not damage or destroy any historic property, seconded by Commissioner Gibson and approved by roll call 4-0.

OTHER BUSINESS/CORRESPONDENCE

Ms. Hurley noted there are three Minor State Law Reviews and/or Minor Certificates of Appropriateness for the board's informational purposes only.

Ms. Hurley stated there are no items for November.

With no further discussion, Chairman Jackson called for a motion to adjourn. Commissioner Otto moved to adjourn, seconded by Commissioner Bateman and approved by a vote of 4-0.

Meeting adjourned at 6:15 p.m.

Minutes taken by Administrative Assistant Michelle Baragary.

DRAFT

LEAVENWORTH PRESERVATION COMMISSION

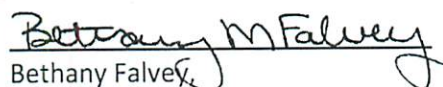
State Law Review

KSA 75-2724

211 Pine Street

January 4, 2023

PREPARED BY:


Bethany Falvey,
City Planner

APPROVED BY:


Paul Kramer,
City Manager

APPLICANT/OWNER:

Jeff Rumas

SUBJECT:

A State Law review (KSA 75-2724) for proposed modifications to the property located at 211 Pine Street, a property located in the Arch Street Historic District, under the Secretary of the Interior's Standards for Rehabilitation. The scope of work includes, "remodel, update, paint, sheetrock, cabinets, flooring, windows."

STAFF ANALYSIS:

The property is located in the Arch Street Historic District, which was listed in the Register of Historic Kansas Places and National Register of Historic Places in 2002. The house is a two-story Queen Anne-style house with asbestos siding and a hip roof with a front gable. Both the house and garage are non-contributing structures to the historic district due to the secondary (asbestos-shingle) siding. Despite the house being non-contributing to the district, the National Register nomination identifies the "front entry with transom, 6/1 windows, a 16/1 first-story front window, a two-story ell with an inset porch at the end of the first story, and a one-story rear addition and porch," as notable features.

The property had a fire in the rear part of the house and caused damage to a portion of the building. The applicant is proposing to do a whole house remodel, including cleaning and repainting the siding, installing a new asphalt roof and gutters, and replacing the windows with American Craftsman one-over-one vinyl windows. The work listed above is also proposed for the garage. The proposed work for the interior includes, a new 200 amp service box, new HVAC system, new sheetrock installation where damaged or missing due to fire, repaint the whole house, installation of new cabinets, countertops and LVT plank flooring in the kitchen, new fixtures and LVT plank flooring in the bathrooms, and new carpet in all the bedrooms.

REQUIRED REVIEWS:

The proposed project shall be reviewed utilizing the Standards for Rehabilitation as set forth by the Secretary of the Interior:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
No such change is proposed.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
The historic wood windows are proposed to be removed and replaced with American Craftsman one-over-one vinyl windows.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
No such change is proposed.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
No such work is proposed.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
The existing wood 6/1 windows and 16/1 first-story front window are distinctive to the property.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
The severity of deterioration has not been documented and the proposed replacement windows do not match the existing.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
Sandblasting is not a recommended treatment for cleaning of the siding and could also cause environmental concerns.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
No ground disturbing work is proposed.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The historic wood windows are proposed to be removed and replaced with American Craftsman one-over-one vinyl windows. The proposed replacement windows do not match the existing.

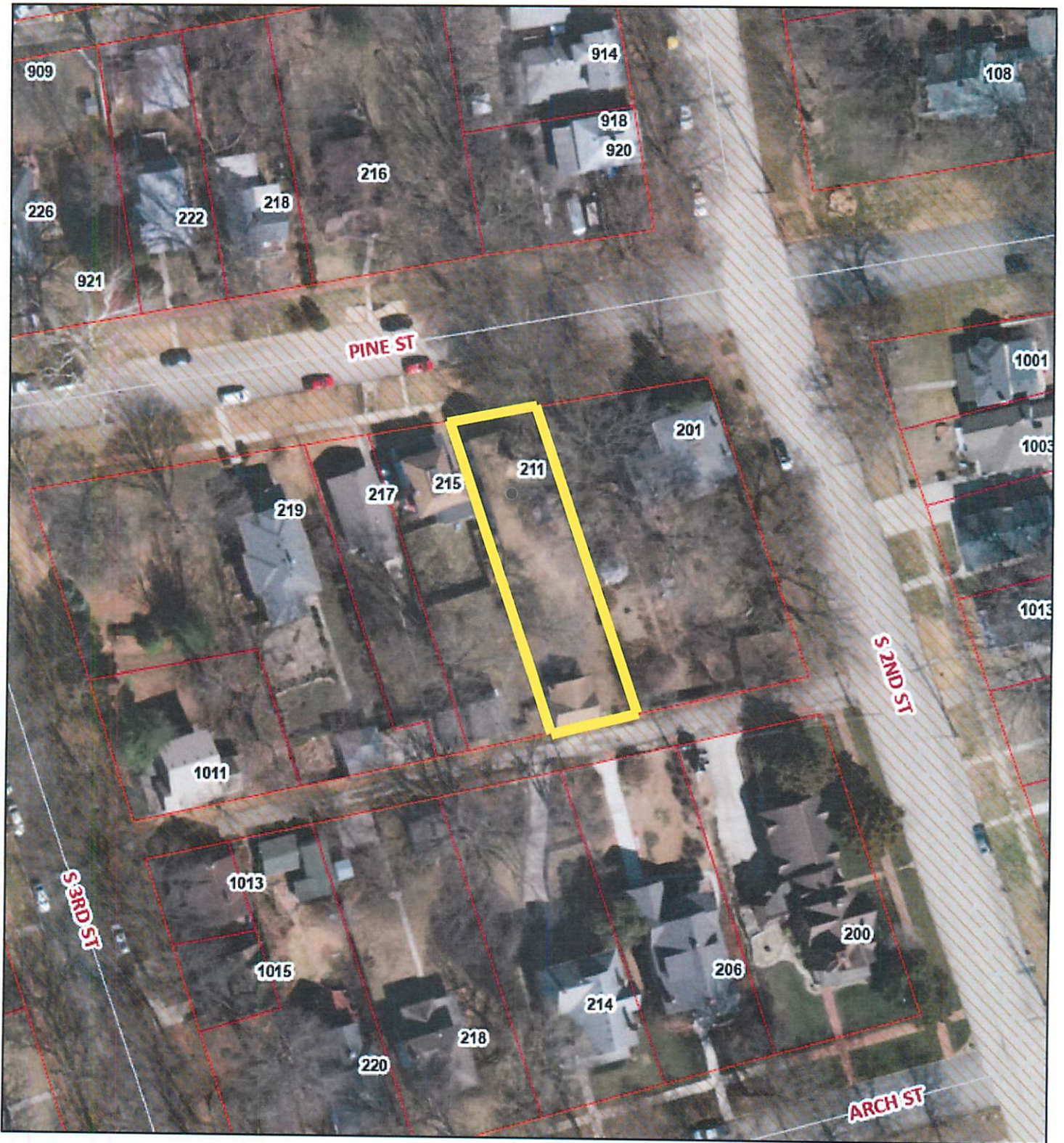
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

No such work is proposed.

ACTION/OPTIONS:

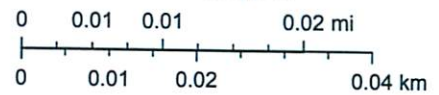
- Motion, to determine that the proposed changes to 221 Pine Street do not damage or destroy the Arch Street Historic District.
- Motion, to determine that the proposed changes to 221 Pine Street do not damage or destroy the Arch Street Historic District.
- Motion, to Table item until the next meeting for the purpose of gathering additional information.
- Motion, to forward to the SHPO for review.

211 Pine Street



12/29/2022, 10:20:23 AM

1:1,128

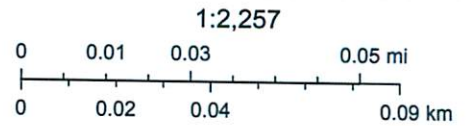


Platte County, Missouri Dept. of Conservation, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, EPA

211 Pine Street



12/29/2022, 10:22:13 AM



Platte County, Missouri Dept. of Conservation, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, EPA

Web AppBuilder for ArcGIS
Platte County, Missouri Dept. of Conservation, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, EPA |

11-8-2022

To the commission I Jeff Rumas a resident of Leavenworth KS since 1993 own the house at 211 Pine st. I plan to rehab this property in the following ways. On the outside of the property it will be power washed and repainted. The roof has one layer of shingles, so a new layer of shingles will be installed over the existing shingles. New gutters will be installed, and the windows of the house will be replaced with new thermal windows. The windows will be the one-over one type like what is in the house currently. The same as mentioned above will be done to the garage and a new garage door will be installed.

Moving inside the house. my electrician will install a new 200 amp service box and my Heating & cooling company will install a new HVAC system. Sheetrock will be hung where the wall plaster is damaged or missing. The inside of the house will be repainted. New Kitchen cabinets and countertops will be installed. Luxury Vinyl plank Flooring will be installed in both bathrooms and the kitchen. A new shower, toilets and vanities will be installed. All bedrooms will get new carpet. I am planning to turn this dilapidated house into one of the nicest houses on the block. Thank you for your help.

Sincerely Jeff Rumas *Jeff R*











211

2022/11/04



211

2022/11/04



2022/11/04



2022/11/04



2022/11/04



2022/11/04



Application No. 12185

Filing Date 10/5/22

HISTORICAL IMPACT DETERMINATION

Property Address: 200 SENECA

Print Name of Property Owner: Abernathy Lofts, L.P.

Address of Property Owner: 603 EAST STR., #400 / PARKVILLE, MO 64152

Phone: 816.520.3948 Email: stoue@fouthbrothers.com

Applicant Name (if different from property owner): _____

Phone: _____ Email: _____

Legal Description: (Attach recorded copy of full legal description provided by the REGISTER OF DEEDS OFFICE)

Nature of Project: REPAIR OF MISC DETERIORATED SIDEWALK SECTIONS

(Attach detailed written description of proposed project, along with plans, renderings, photos, and any other necessary supporting documentation to fully describe scope of work)

Historical or Architectural significance:

- National Register
- Kansas Register
- Leavenworth Landmarks Register
- Historic District

Name of District: _____

For Office Use:

Required Review

- Minor State Law Review
- Major State Law Review
- Minor Certificate of Appropriateness
- Major Certificate of Appropriateness

Project No. _____ LPC

Fee (non-refundable) \$200.00

Fee Paid/Received By: _____

Date of LPC Hearing: _____

Date of Notice of Public Hearing published _____

Date Notice sent to property owners within historic district, as appropriate: _____

Date of request for appeal to City Commission, if appropriate: _____

Date scheduled for City Commission review and action, if appropriate: _____

Final Action:

Deny as proposed Approve as proposed Approve with modifications

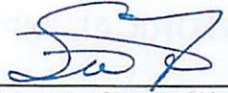
Reviewed by: [Signature]

Date: 10/5/22

NOTE: All signatures must be in ink. Signature of owner(s) must be secured and notarized.

Dated this 5th day of OCTOBER, 2022.

ABERNATHY LOETS, L.P. (STEVE FURCH)
Property Owner (Print Name)

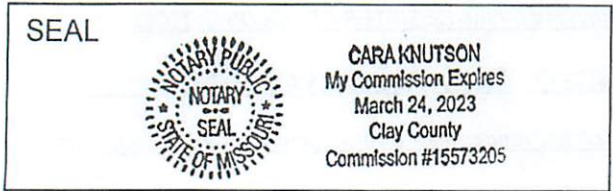

Property Owner (Signature)

State of Missouri

County of Platte

Signed or attested before me on 5th October 2022 by CARA Knutson

Notary Public Cara Knutson My appointment expires 03/24/23





Application No. 12223
Filing Date 10/14/22

HISTORICAL IMPACT DETERMINATION

Property Address: 600 Cherokee St, Leavenworth, KS 66048

Print Name of Property Owner: Sean Willcott

Address of Property Owner: 13193 206 Rd, Holton, KS 66436

Phone: 785-338-1611 Email: sean.willcott@willcottbrewing.com

Applicant Name (if different from property owner): _____

Phone: _____ Email: _____

Legal Description: (Attach recorded copy of full legal description provided by the REGISTER OF DEEDS OFFICE)

Nature of Project: building renovation

(Attach detailed written description of proposed project, along with plans, renderings, photos, and any other necessary supporting documentation to fully describe scope of work)

Historical or Architectural significance:

- National Register
- Kansas Register
- Leavenworth Landmarks Register
- Historic District

Name of District: DOWNTOWN LEAVENWORTH

For Office Use:	
Required Review	Project No. _____ LPC
<input checked="" type="checkbox"/> Minor State Law Review	Fee (non-refundable) \$200.00
<input type="checkbox"/> Major State Law Review	Fee Paid/Received By: _____
<input type="checkbox"/> Minor Certificate of Appropriateness	
<input type="checkbox"/> Major Certificate of Appropriateness	
Date of LPC Hearing: _____	
Date of Notice of Public Hearing published _____	
Date Notice sent to property owners within historic district, as appropriate: _____	
Date of request for appeal to City Commission, if appropriate: _____	
Date scheduled for City Commission review and action, if appropriate: _____	
Final Action:	
Deny as proposed <input type="checkbox"/>	Approve as proposed <input checked="" type="checkbox"/>
	Approve with modifications <input type="checkbox"/>
Reviewed by: _____	Date: <u>10/14/22</u>

NOTE: All signatures must be in ink. Signature of owner(s) must be secured and notarized.

Dated this 14 day of October, 2022.

Sean Willcott
Property Owner (Print Name)

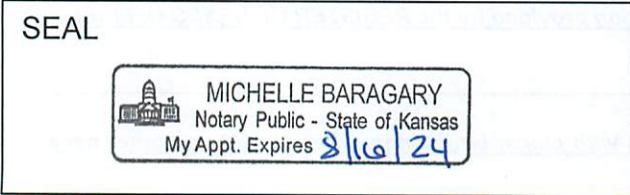
Sean Willcott
Property Owner (Signature)

State of KANSAS)

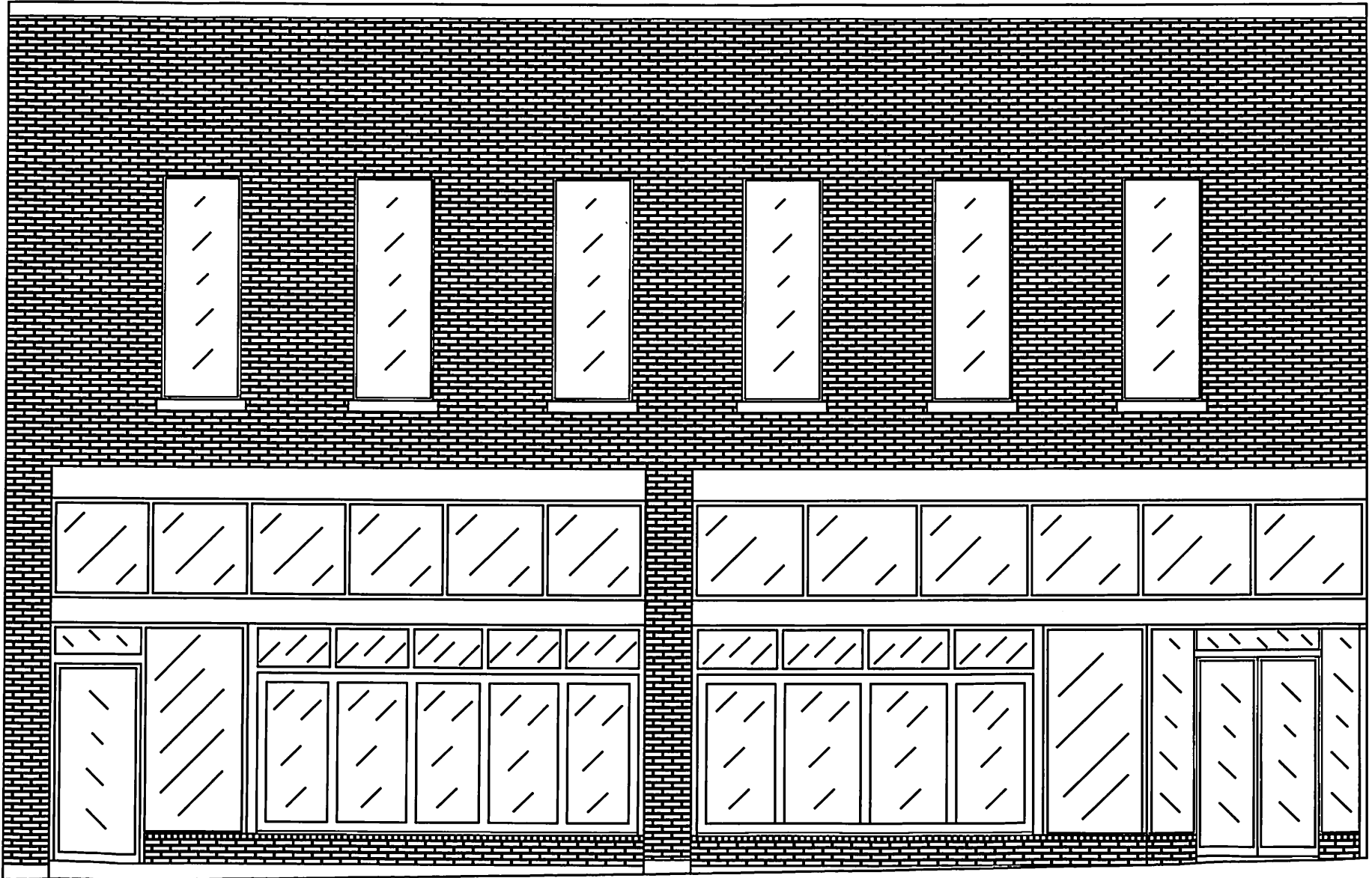
County of Leavenworth

Signed or attested before me on October 14, 2022 by Sean Willcott

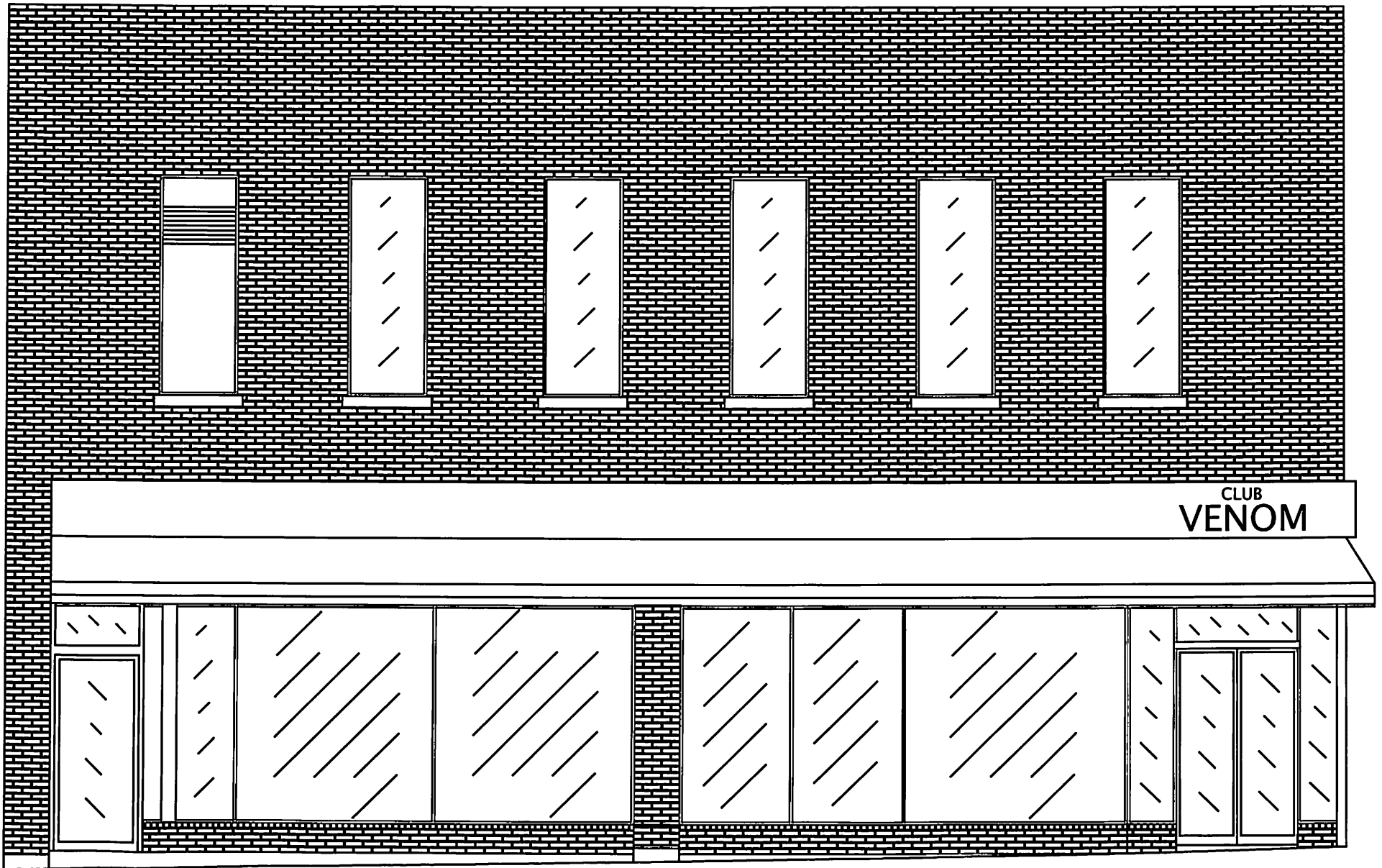
Notary Public Michelle Baragary My appointment expires 8/16/24



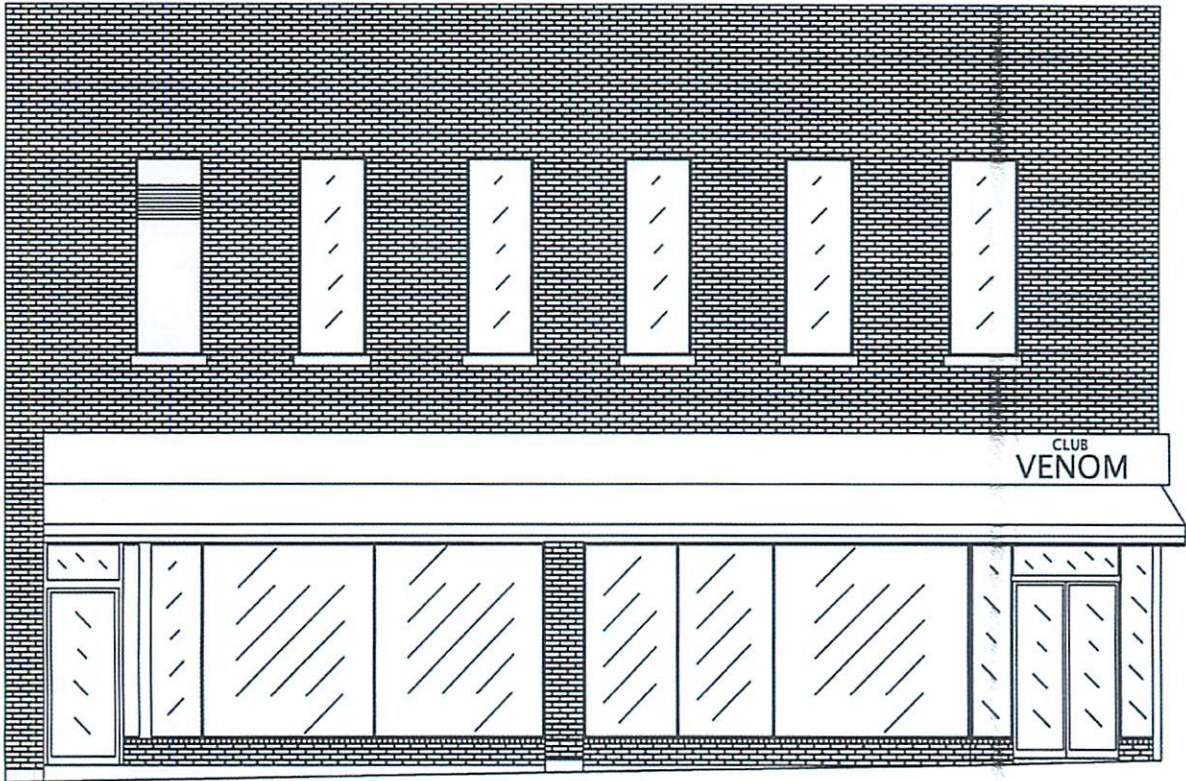
PROPOSED SOUTH WALL



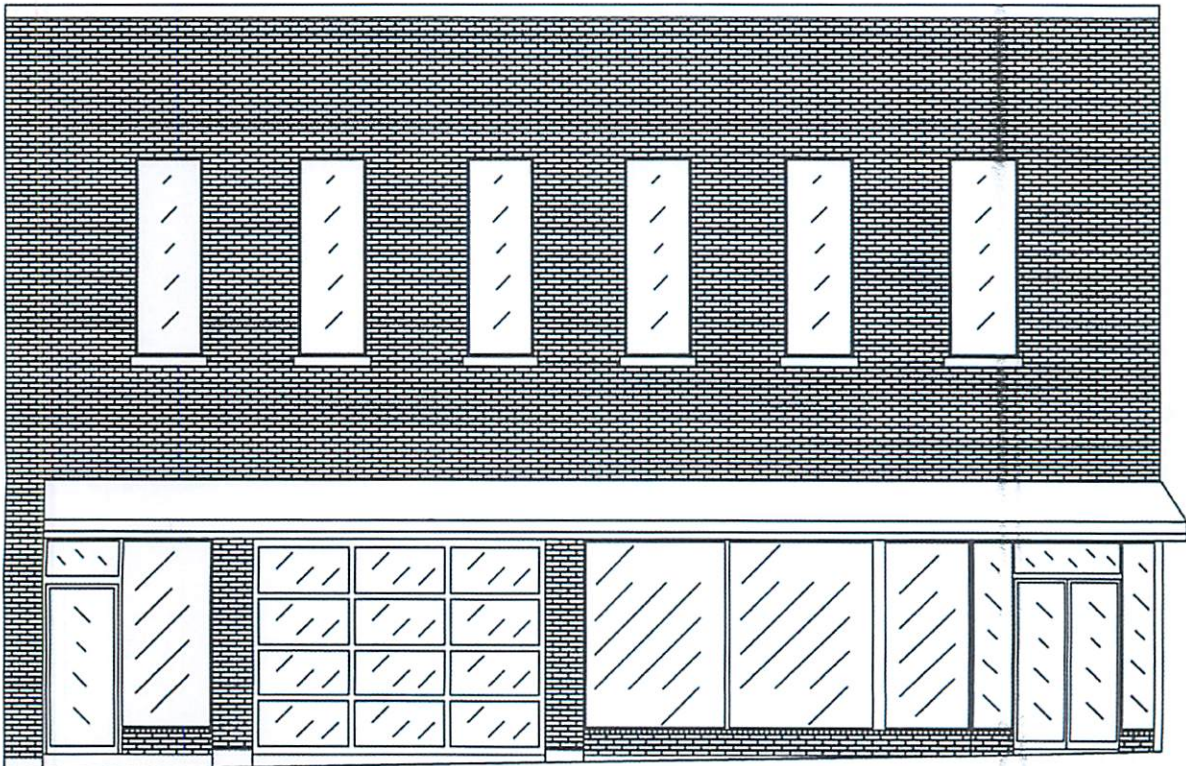
ORIGINAL SOUTH WALL



EXISTING SOUTH WALL



PROPOSED SOUTH WALL





Application No. 12350

**MINOR CERTIFICATE OF APPROPRIATENESS
Historic Resource Preservation Ordinance
Leavenworth, Kansas**

Date of application 11-14-22. All information is subject to verification. Willful falsification may lead to issuance of a “stop work” order on your project.

1. Address of Property: 630 Cherokee Street, Leavenworth, KS 66048

- National Register
- Kansas Register
- Landmarks Register
- Historic District

Name of District: Downtown Historic District

2. Project Type:

- Replacement of roofing materials with like-kind materials
- Repair of architectural elements such as porches, fascia, windows, doors, with like-kind replacement materials
- Installation of mechanical, plumbing, or electrical systems that require minimal changes
- Installations of awnings and signs on commercial properties, excludes temporary signs
- Interior modifications that do not affect character-defining elements of the structure
- Installation of fire safety equipment, or minor alterations to meet the Americans with Disabilities Act
- Public improvements including improvements to streets, curbs, sidewalks, parking areas, parks, and other amenities
- Subdivision of property, or vacation of streets or alleys
- Minor exterior building maintenance
- Sidewalk dining
- Other projects: Excavation of petroleum-contaminated subsurface soil in parking lot and surface restoration. Work to be performed as authorized by the Kansas Dept of Health & Environment.

*Temporary construction fencing will be installed during excavation.
Includes 5ft chain-link decorative fencing around remediation equipment.*

3. Attach a Letter of Intent that describes improvements, and give reason why such improvement does not detract from the historic character of a registered property or historic district.

4. Printed name of owner: Gary Scharnhorst
Telephone Number: 913-651-0550
Email: Shineycarcare@gmail.com

NOTE: All signatures must be in ink. Signature of owner(s) must be secured and notarized.

[Signature] Signature of property owner(s) 11-14-22 Date

State of Kansas)

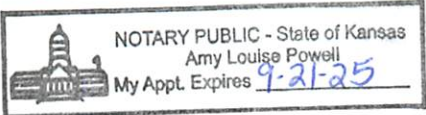
County of Leavenworth)

Signed and attested before me on November 11, 22 by Amy Louise Powell

Notary Public [Signature]

My Appointment Expires 9-21-25

(Seal)



cc: KS Historic Preservation Office
6425 SW 6th St
Topeka, KS 66615-1099

APPROVED FOR ISSUANCE
Date: 11/16/2022
Bethany M Falvey
~~Julie Hurley~~ Bethany Falvey
Director of Planning & CD
City Planner

November 10, 2022
27221314.00

City of Leavenworth, Kansas
Planning and Community Development
100 North 5th Street
Leavenworth, Kansas 66048

Subject: Historic Preservation – Letter of Intent

To Whom it May Concern:

SCS Engineers (SCS) is under contract with the Kansas Department of Health and Environment (KDHE) – Bureau of Environmental Remediation (BER) to perform environmental corrective actions at property located at 630 Cherokee Street, Leavenworth, Kansas. The property is located within the Downtown Historic District, as shown on the attached site map. SCS has executed an access agreement with the current property owner, Mr. Gary Scharnhorst, to complete the remedial actions.

The remedial actions will include the following activities; select pages from the KDHE-approved Remedial Design Plan (GSI Engineering, LLC, April 2019) are attached:

- Saw cut and remove approximately 614 square feet of existing concrete pavement;
- Excavate an estimated 410 cubic yards of petroleum-impacted soil;
- Backfill with clean sand and clay material, and install remedial system components (piping, remedial wells);
- Restore the surface with a minimum 6-inch thick concrete pavement, or existing thickness, whichever is greater;
- Install remedial equipment; and
- Startup and operate remedial system.

The above-described activities will be performed so as not to damage or detract from the historic character of the district, and the property will be restored to match existing conditions.

SCS appreciates your consideration of this Letter of Intent, which accompanies the Minor Certificate of Appropriateness. Please do not hesitate to contact us if you have questions or need additional information.

Sincerely,

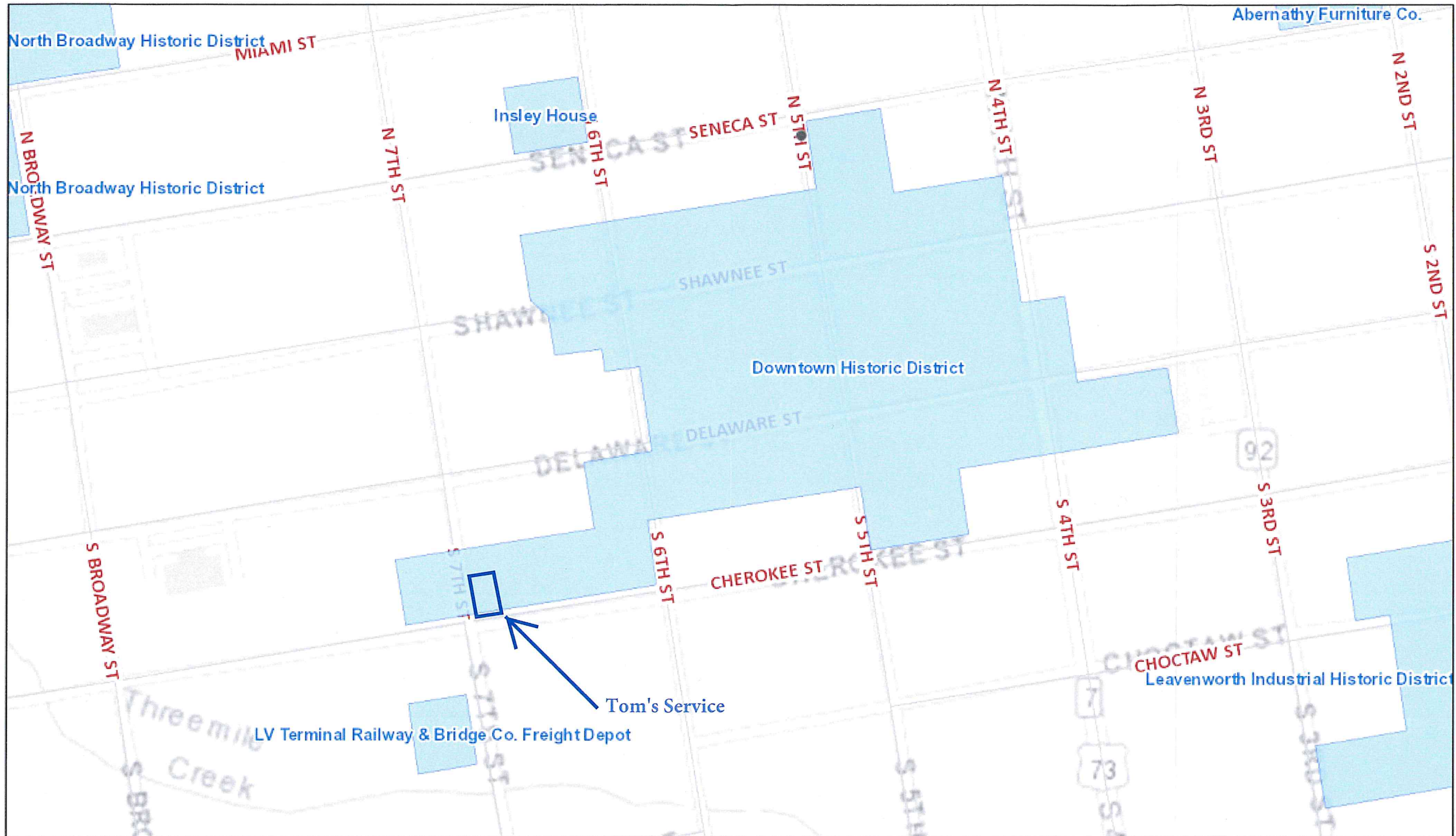


Susan L. McCart, P.E., P.G.
Project Director
SCS ENGINEERS

Attachments



ArcGIS Web Map



3/11/2021, 4:22:05 PM

- Historic Districts
- Missouri River
- Lansing City Limits
- Ft Leavenworth Military Installation
- Leavenworth City Limits
- RoadCenterline



Remedial Design Plan

Tom's Service
630 Cherokee St.
Leavenworth, Kansas

NE, NE, NE, NE
Section 35, Township 8 South, Range 22 East
Leavenworth County, Kansas

KDHE Project Code: U4-052-13596

Prepared for:

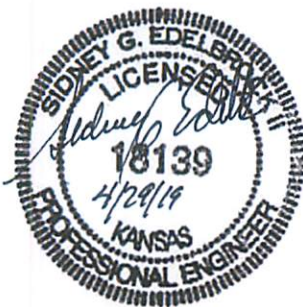
Kansas Department of Health and Environment
Bureau of Environmental Remediation
Topeka, Kansas

April 29, 2019

Select Pages
Provided

Prepared By:

GSI Engineering, LLC
6208 Richards Drive
Shawnee, KS
GSI Project Number: 1874189



Sidney G. Edelbrock II, P.E.
Environmental Engineer



Rick L. Bean, P.G.
Director of Environmental Operations

Soil at the Site is predominantly silty clay with interbedded fine sand layers. During the LSA activities, the depth to ground water at the Site was encountered from 10.55 to 13.63 below top of casing (btoc). The direction of ground water flow at the site was generally to the south-southeast towards Three Mile Creek as determined during the LSA activities.

Groundwater levels measured on November 1, 2017 ranged from approximately 8.81 to 12.91 feet btoc. Groundwater elevations in the monitoring wells ranged from a high of 774.22 feet above mean sea level (MSL) at monitoring well MW-2, located off site to the north of the Site, to 771.33 feet MSL at monitoring well MW-7, located off site to the south of the Site. When mapped, the data indicate the groundwater flow direction is generally to the south.

SECTION 1.0 CONSTRUCTION PLANS

1.1 Summary of Work

Previous investigations have documented that soils and groundwater are impacted with volatile organic compounds (VOCs) and hydrocarbons commonly associated with petroleum products. Lithologic logging indicates that soils are generally silty clays with interbedded fine sand layers. Groundwater ranges from eight to thirteen feet below ground surface (bgs). Based on pilot testing, SVE / IAS technology are not viable remedial options for the Site without modification of the site geology.

The proposed remediation methods include implementing a small excavation (614 square feet / 410 cubic yards) to remove source material and improve access to groundwater for other remediation technologies. SVE / IAS technologies will be used to address groundwater contamination. Provisions have been included for possible future delivery of oxidizing compounds to the excavation.

The proposed remedial effort, as agreed to by KDHE, includes the excavation of the outlined area on the plans to a minimum of eighteen feet bgs. The excavation is to be backfilled with a clean fill and a clay cap. One horizontal soil vent (HSVE) well and three in-situ air sparging (IAS) wells will be installed in the area of fill. The IAS wells will be screened from twenty to twenty-two feet bgs. Filter pack will extend up into the back fill. The HSVE well will have a total of twenty feet of well screen covering thirty linear feet of excavation.

As the excavation will extend below the groundwater elevation the consulting contractor (Contractor) will be required to deal with an unknown volume of infiltrate. Timing of the excavation should consider the seasonal nature of the groundwater elevation. The Contractor can limit the volume of free groundwater by backfilling as the excavation proceeds. As the backfill material is clean fill sand, filling into water should not adversely affect compaction. The fill will not however fall in place to full compaction, and some mechanical effort must be applied to reach optimum compaction.

If it becomes necessary to remove accumulated groundwater, the Contractor should consider onsite treatment. Water can be run through a mobile carbon absorber until clean. The Contractor will be responsible for discussing treatment and disposal with KDHE. All permits will be the responsibility of the Contractor.

Due to the limited available space onsite and the depth of excavation, the Contractor will need to pay close attention to the stability of the soils. It is recommended that in the north end of the excavation that a single bucket width be excavated to depth and back filled with clean sand as soon as possible. Where the trench widens the excavation should be sloped as space allows. As the stability of the soils is determined the excavation can be made wider at depth to increase the open are of the excavation. Strategic placement of fill to buttress the excavation sidewalls can be used to limit tension cracking, toppling, sliding, subsidence, or bulging.

A set back of ten to fifteen feet has been allowed for the building. However the excavation is near to the edge of the roadway. The consulting contractor (Contractor) should discuss with the City about closing off the traffic lane nearest the excavation.

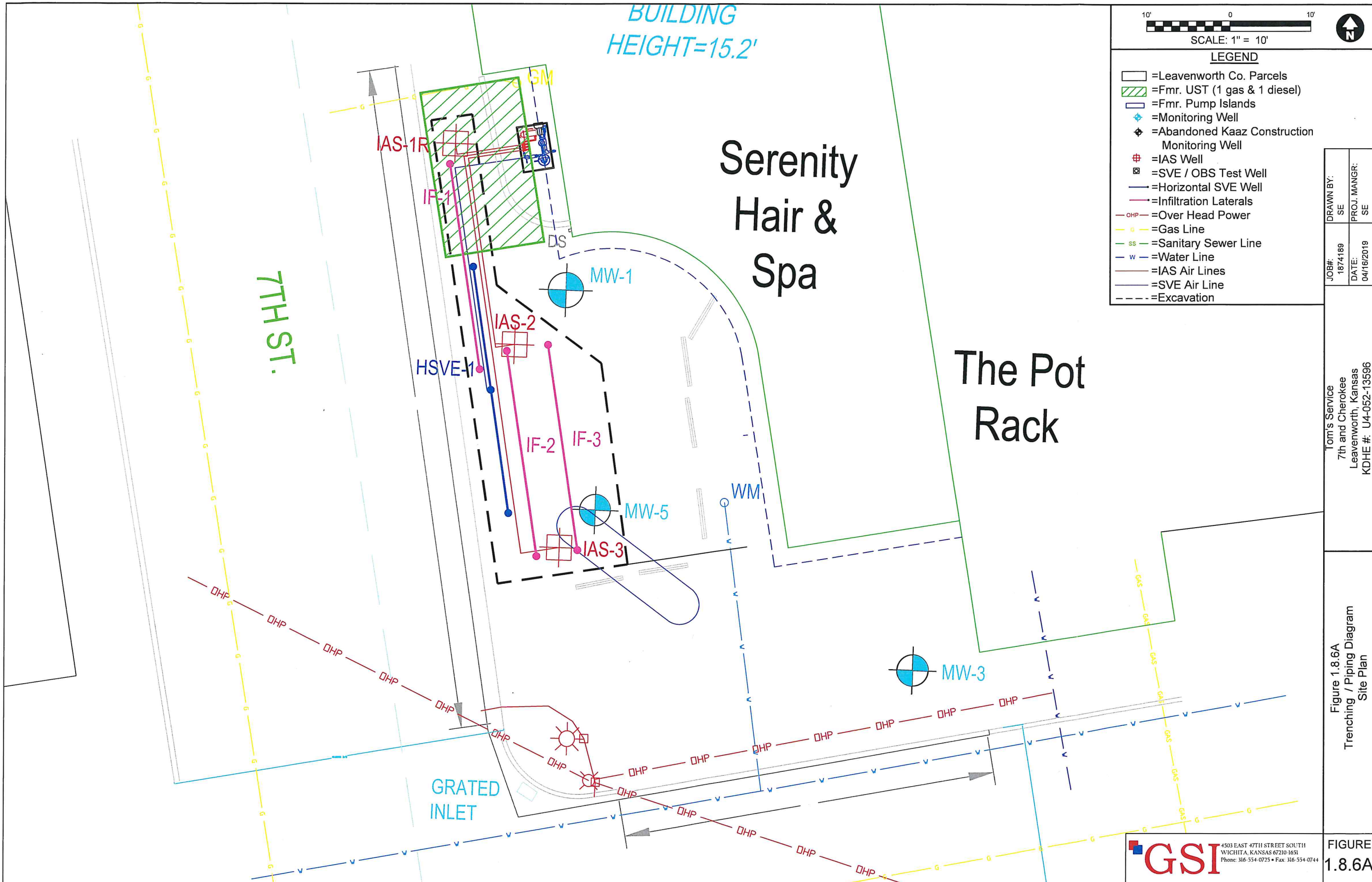
After soil removal and backfill, but prior to paving, three IAS wells and one monitoring well will be installed. All trenching for the installation of air lines will be completed and connected to the remedial equipment as shown in the drawings.

Since SVE pilot testing failed, the SVE system has been sized based on the assumption that the SVE system should have a minimum capacity of four times the flow rate of the sparge system. The capacity of the specified compressor is 21 scfm @ 10 psig. The SVE blower has been sized to recover 90 scfm @ 45 inches water column (w.c.).

A skid mounted remediation system housed in a utility box will be positioned as shown in the site drawings. Remediation equipment will include a vacuum blower, an air compressor, distribution manifolds, and all necessary system controls as outlined in the attached drawings. The location is a flower box in front of the building. A five foot chain-link fence will surround the enclosure. The fence will be covered in NatraHedge Living Wall mats to improve the appearance. The Contractor shall allow the owner to select the foliage pattern.

The Contractor shall coordinate work with the property owner and KDHE. Concerns such as placement, fencing construction, and pavement shall be determined and agreed upon prior to start of construction.

- 1.1.1 The installation shall be conducted in accordance with the KDHE Site Remediation Plan (SRP) Guidance document, Revision 14, dated April 2019, or the guidance document referenced in the SRP bid package, whichever is most current. All Contractors are cautioned to review the guidance document for changes to the



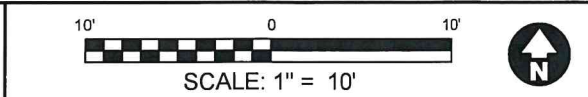
BUILDING
HEIGHT=15.2'

Serenity
Hair &
Spa

The Pot
Rack

7TH ST.

GRATED
INLET



LEGEND

- =Leavenworth Co. Parcels
- =Fmr. UST (1 gas & 1 diesel)
- =Fmr. Pump Islands
- ◆ =Monitoring Well
- ⊕ =Abandoned Kaaz Construction Monitoring Well
- ⊕ =IAS Well
- ⊗ =SVE / OBS Test Well
- =Horizontal SVE Well
- =Infiltration Laterals
- =Over Head Power
- =Gas Line
- =Sanitary Sewer Line
- =Water Line
- =IAS Air Lines
- =SVE Air Line
- =Excavation

DRAWN BY:
SE

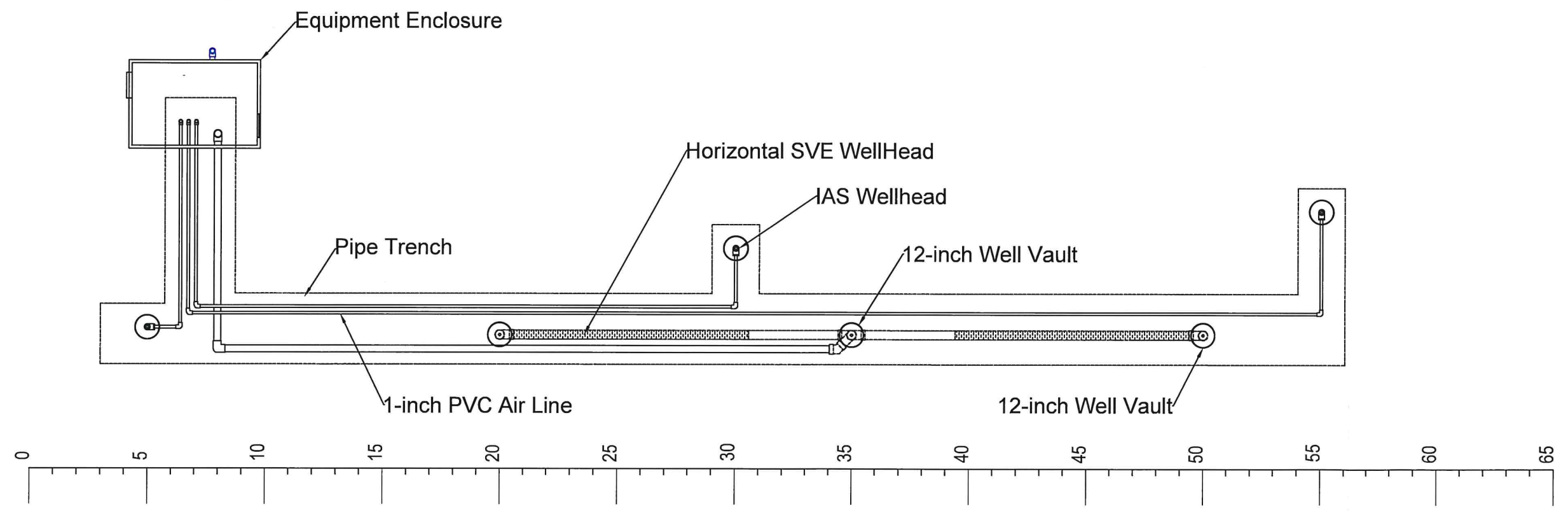
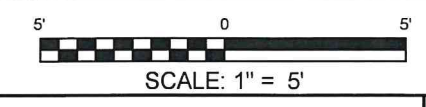
PROJ. MANGR:
SE

JOB#:
1874189

DATE:
04/16/2019

Tom's Service
7th and Cherokee
Leavenworth, Kansas
KDHE #: U4-052-13596

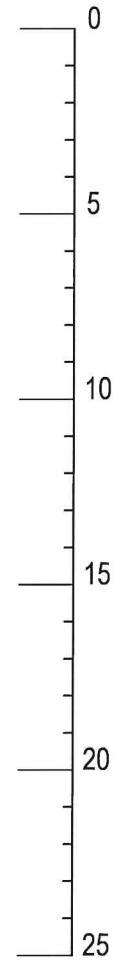
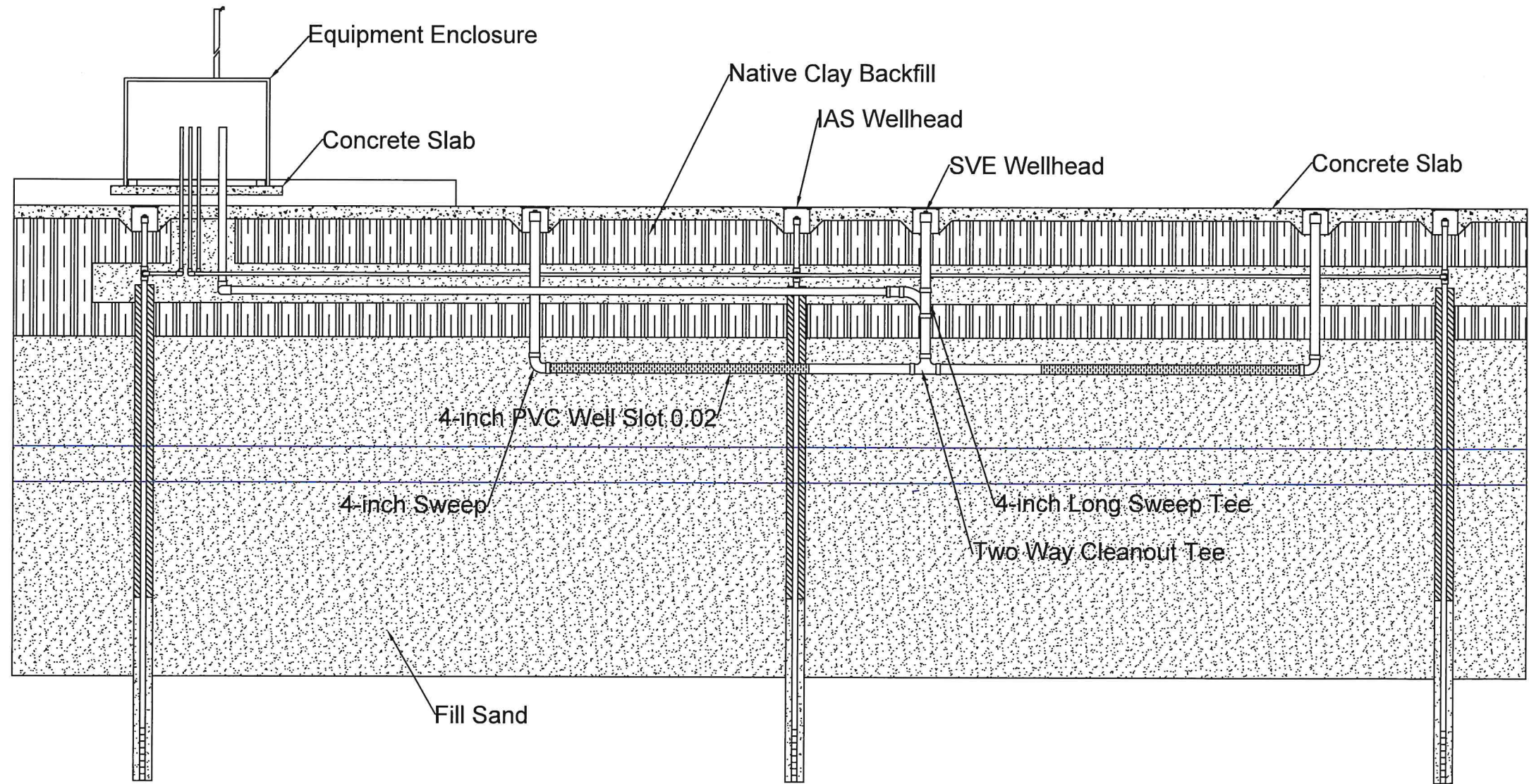
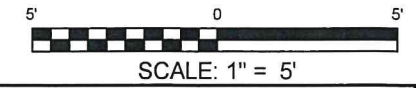
Figure 1.8.6A
Trenching / Piping Diagram
Site Plan



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 DRAWN BY: SE
 PROJ. MANGR: SE

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 Leavenworth, Kansas
 KDHE #: U4-052-13596

FIGURE 1.8.6B
 TRENCHING / PIPE DIAGRAM
 SOIL EXCAVATION PLAN VIEW



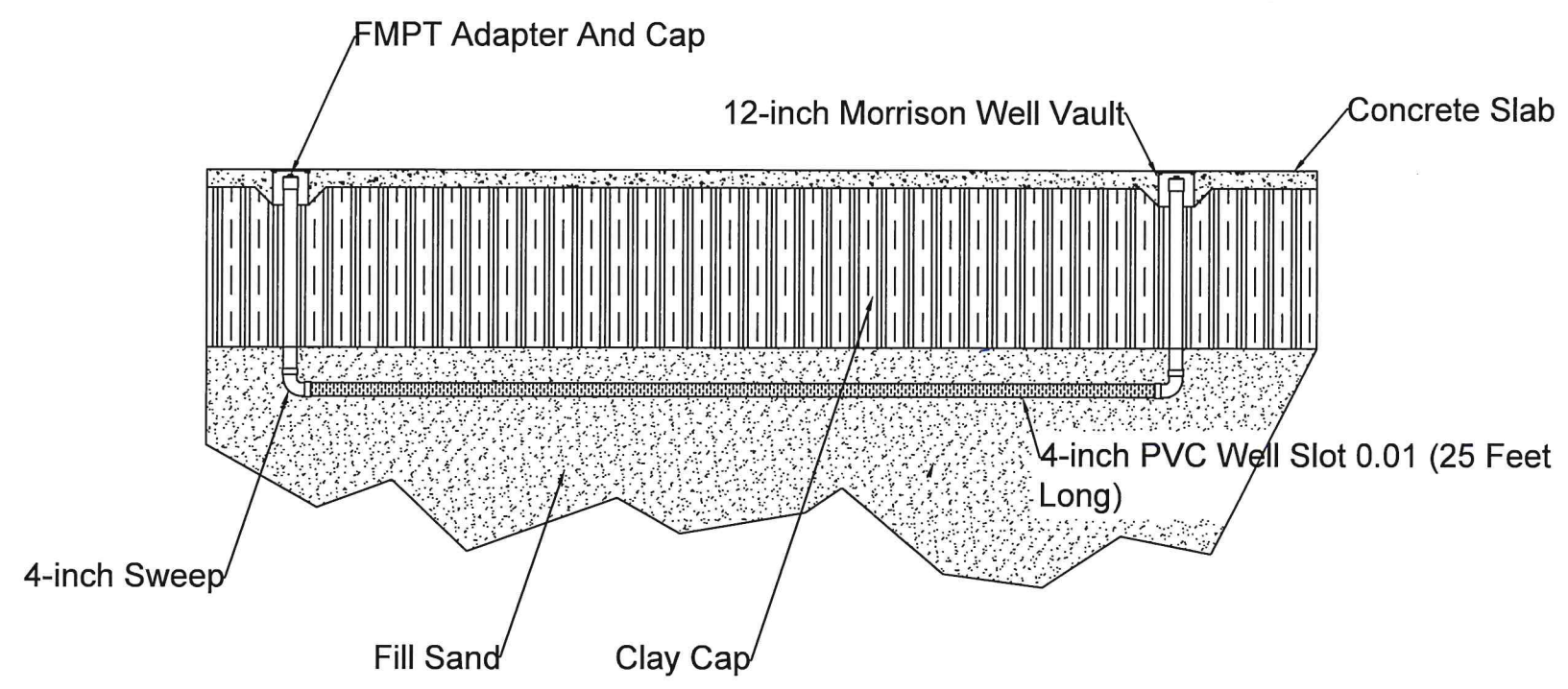
JOB#: 1874189
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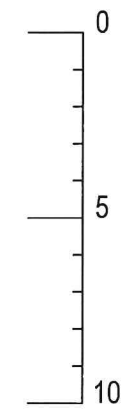
FIGURE 1.8.6C
 TRENCHING / PIPE DIAGRAM
 SOIL EXCAVATION PROFILE



SCALE: 1" = 5'



TYPICAL OF 3 INFILTRATION LATERALS

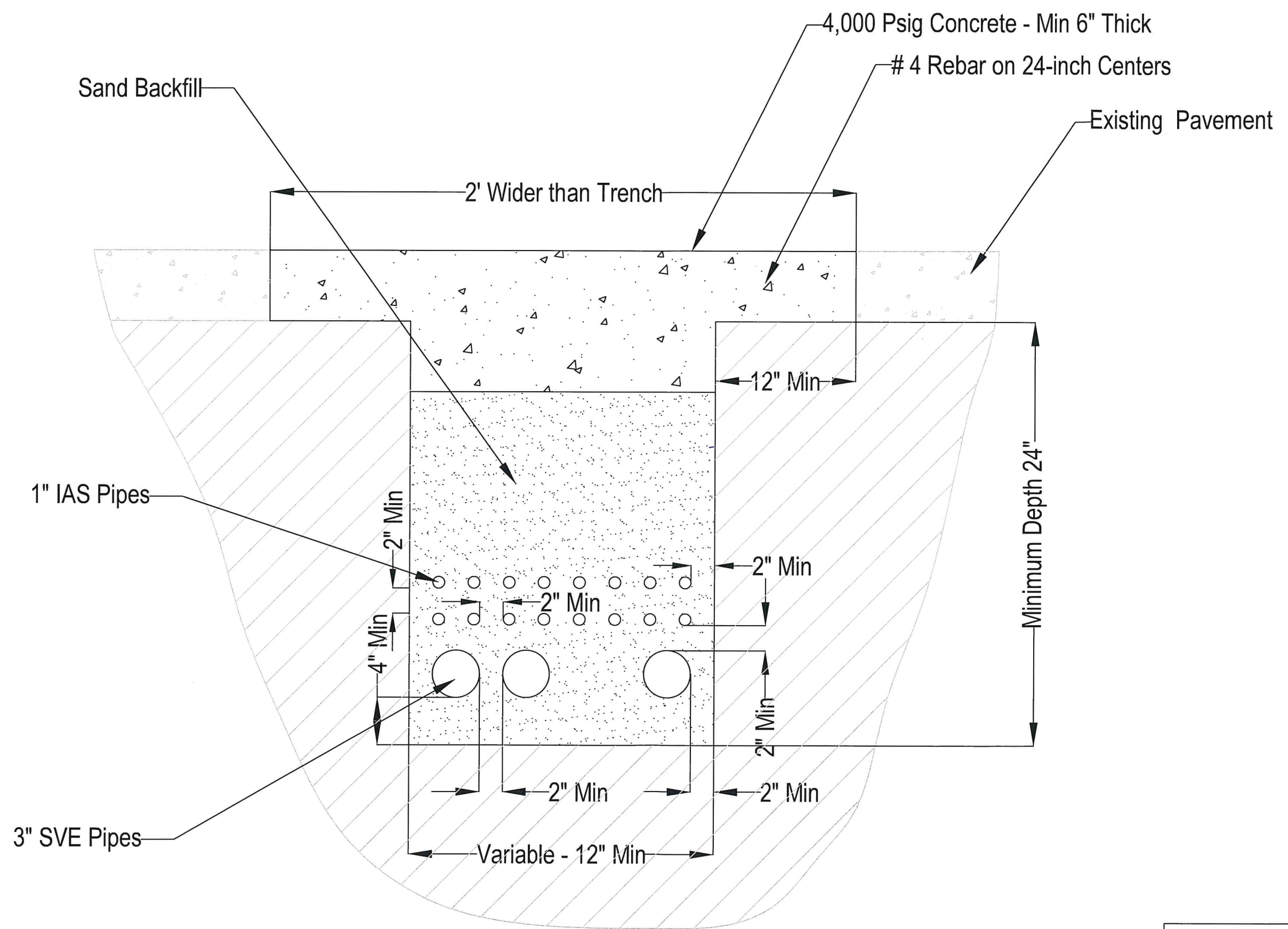


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PROJ. MANGR:	SE

JOB#:	1874189
DATE:	04/16/2019

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KDHE #: U4-052-13596

FIGURE 1.8.6D
TRENCHING / PIPE DIAGRAM
ISCO INFILTRATION LATERAL PROFILE



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 DATE: 04/16/2019
 DRAWN BY: SE
 PROJ. MANGR: SE

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 Leavenworth, Kansas
 KDHE #: U4-052-13596

FIGURE 1.8.6E
 TRENCHING / PIPE DIAGRAM
 TYPICAL TRENCH DETAIL



Application No. 12463
Filing Date _____

HISTORICAL IMPACT DETERMINATION

Property Address: 405 W Broadway Leavenworth KS 66048
Print Name of Property Owner: Jennifer Hill & Carly Hill
Address of Property Owner: 405 W Broadway Leavenworth Ks, 66048
Phone: 509-769-8898 Email: Jennhill2013@gmail.com
Applicant Name (if different from property owner): Jennifer Hill & Carly Hill
Phone: 509-769-8898 Email: Jennhill2013@gmail.com
Legal Description: (Attach recorded copy of full legal description provided by the REGISTER OF DEEDS OFFICE)
Nature of Project: Driveway fence

(Attach detailed written description of proposed project, along with plans, renderings, photos, and any other necessary supporting documentation to fully describe scope of work)

- Historical or Architectural significance:
- National Register
 - Kansas Register
 - Leavenworth Landmarks Register
 - Historic District
- Name of District: _____

For Office Use:	
Required Review	Project No. _____ LPC
<input checked="" type="checkbox"/> Minor State Law Review	Fee (non-refundable) \$200.00
<input type="checkbox"/> Major State Law Review	Fee Paid/Received By: _____
<input type="checkbox"/> Minor Certificate of Appropriateness	
<input type="checkbox"/> Major Certificate of Appropriateness	
Date of LPC Hearing: _____	
Date of Notice of Public Hearing published _____	
Date Notice sent to property owners within historic district, as appropriate: _____	
Date of request for appeal to City Commission, if appropriate: _____	
Date scheduled for City Commission review and action, if appropriate: _____	
Final Action:	
Deny as proposed <input type="checkbox"/> Approve as proposed <input checked="" type="checkbox"/> Approve with modifications <input type="checkbox"/>	
Reviewed by: <u>Bethany McFalvey</u>	Date: <u>12/8/2022</u>

NOTE: All signatures must be in ink. Signature of owner(s) must be secured and notarized.

Dated this 8th day of December, 2022.

Jennifer Hill
Property Owner (Print Name)

Jennifer Hill
Property Owner (Signature)

State of Kansas

County of Leavenworth

Signed or attested before me on December 8th, 2022 by Jennifer Hill

Notary Public Julie J. McKeel My appointment expires 3-21-26
Julie J. McKeel

